



**TOWN OF WELLINGTON
PLANNING COMMISSION**

July 13, 2020

**REGULAR MEETING
6:30 PM**

LEEPER CENTER – 3800 WILSON AVE

1. CALL TO ORDER
2. ROLL CALL
3. ADDITIONS TO OR DELETIONS FROM THE AGENDA
4. PUBLIC FORUM
5. CONSIDERATION OF MINUTES
6. NEW BUSINESS
 - A. Site Plan Review - Lot 4, Block 1, Meridian First Subdivision - Medical Office Building
7. ANNOUNCEMENTS
8. ADJOURNMENT
9. CONSIDERATION OF MINUTES



Planning Commission Meeting

Date: July 13, 2020
Submitted By: Cody Bird, Planning Director
Subject: Site Plan Review - Lot 4, Block 1, Meridian First Subdivision - Medical Office Building

EXECUTIVE SUMMARY

General Location:

- Southwest corner of Wellington Blvd. and Saratoga St.

Applicant/Agent:

- Applicant: Lot 4, Wellington, CO-LLC
- Agent: James Vigesaa

Reason for request:

- Develop site for a medical office building including a veterinary clinic

Background Information:

- The applicant is proposing to develop the property near the southwest corner of Wellington Blvd. and Saratoga St.
- The property is zoned C3 Highway Commercial. Within the C3 District, permitted uses include "Professional Offices, Financial Services and Clinics." The proposed Medical Offices are permitted under this use description.
- Also within the C3 District, "Veterinary Facilities, Small Animal Clinics" is identified as a permitted use. The proposed veterinary clinic is for small animals only and is a permitted use.

BACKGROUND / DISCUSSION

1. Building Setbacks and dimensional standards: The proposed building does not encroach into required building setbacks. The proposed development complies with all other district dimensional standards.
2. Easements: Proposed buildings and structures do not appear to encroach into platted easements. The northeast corner of the building shall be verified that the footing does not encroach upon the platted easement.
3. Streets and Access: The site is adjacent to Wellington Blvd. No access directly onto Wellington Blvd. is allowed. All access will be onto the private streets internal to the Meridian First Subdivision development which are sufficient to accommodate the proposed development.
 - All signs and pavement markings on site are required to conform to the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
4. Pedestrian Connection: Sidewalks are required to connect to existing public sidewalks. There is an existing sidewalk along Wellington Blvd. New sidewalk connections to the existing public sidewalk are proposed, meeting the pedestrian connection requirement. The new sidewalk along the private drive needs to be extended west to the property line. The sidewalk connection on the northwest corner goes to a vehicle circulation aisle and is not needed. The existing sidewalk

along Wellington Blvd. needs to be evaluated for condition and any repairs made at the time of site construction.

5. Parking: Office uses are required to provide a minimum of 1 parking space per each 300 sq. ft. of gross floor area. The proposed building is 7,912 sq. ft., thus 27 parking spaces are required. 36 parking spaces are proposed, meeting the requirement.
 - Parking spaces meet the minimum width and depth requirement (10 ft. x 20 ft.) as required.
 - A bicycle rack for this phase of development is identified, meeting the minimum requirement.
 - 6. Circulation Aisles: Circulation aisles are shown to meet the minimum 24-ft. width requirement for two-way traffic circulation.
7. ADA: ADA Standards for Accessible Design require accessible parking spaces based upon the total number of parking spaces provided on site. When 26 to 50 parking spaces are provided, a minimum of 2 ADA spaces are required. 1 van accessible parking space is required. 1 van accessible parking space is identified, meeting the requirement.
 - The applicant or their designated agent shall ensure that all accessible parking spaces and routes meet the requirements of ADA standards including locations, widths, aisles, slopes, signage, and pavement markings. Sufficient details should be included in the construction drawings.
8. Signage:
 - Wall signs are shown on the building elevations. Size and location are consistent with the intent of the sign regulations and are appropriate for the scale and character of the proposed development site. A separate sign permit is required.
9. Site Lighting: A photometric plan was provided with the site plans as required.
 - The Town's maximum illumination level at the property line is 0.1 footcandle. There is a minimal amount of light spill over onto adjacent properties and right-of-ways.
 - The Town has a minimum illumination level of 1.0 footcandle for parking areas and pedestrian paths. Lighting should be adjusted or provided to ensure pedestrian paths are adequately illuminated.
10. Landscape/Screening and Buffering:
 - Street Trees: There are existing street trees along Wellington Blvd. The trees are Ash trees, and need to be evaluated for damage/disease caused by emerald ash borers. Trees are to be replaced as needed.
 - Site Trees: Proposed trees and locations meet the minimum requirement for site trees.
 - Parking Lot Trees/Shrubs/Screening: Parking lots are required to provide trees in islands and shrubs for screening and buffering. A sufficient number and species of trees and shrubs are proposed to meet the parking lot island requirements and to adequately screen the parking lot from Wellington Blvd.
 - Other:
 - Landscaping installed at the driveway entrance needs to be verified it will not interfere with the vision triangle – no visual impediments between 30 inches to 8 ft. (not including trees which will reach a mature canopy of over 8 ft.). Shrubs proposed will need to be trimmed or replaced with a species not to exceed 30 inches.
 - A separate tap and meter is required for outdoor landscape irrigation. The applicant has provided updated utility plans with a separate irrigation tap meeting the requirement.

11. Drainage: Site stormwater drainage was previously contemplated for the site. Town Engineering staff has provided engineering review comments to the applicant in a separate letter. The site plan approval is conditioned upon satisfying engineering review comments.

12. Utilities:

- Town Utilities: There is existing public water and sanitary sewer infrastructure in place to serve the site. The site plan approval is conditioned upon engineering review comments.

- Other Utilities: The applicant is responsible for coordinating with private companies to ensure that all utilities are installed underground.
 - Fire District Review: Wellington Fire District staff reviewed the site plans and accept the plans as presented. Building plan review and a permit issued by Wellington Fire Protection District is required prior to construction.

13. Architectural Design Standards: The proposed building is an appropriate massing and scale for the site and adjacent properties. Building features provide visual interest and are compatible with the various styles of the adjacent townhomes, credit union and existing commercial buildings.

- The building is proposed to be finished primarily with EIFS (synthetic stucco) and a split-faced CMU wainscot. The proposed asphalt shingle roof is similar to adjacent townhomes and businesses. Materials and colors are compatible with surrounding development.
 - All mechanical equipment and rooftop units are required to be screened from view from the public right-of-way. Air conditioning units are ground-mounted and are located at the rear of the building. There are adequate trees and shrubs to screen the units from public view.
 - An appropriate 6 ft. tall dumpster enclosure is proposed at the northwest corner of the site. Materials for the enclosure match the split face CMU of the building wainscot, meeting the requirement for matching building materials. The gate is solid and matches the storefront windows.

14. Corrected Plans: Following Planning Commission approval, the applicant will need to revise the site plan documents to incorporate all corrections or comments, including Town engineering review comments, and submit revised copies to the Town. Changes on the site plan sheets shall be clouded, and a list of all changes shall be provided, noting which comment each is addressing.

- Building plans will not be reviewed or permits issued until revised plans are accepted by the Town.

STAFF RECOMMENDATION

- Approve site plans for Lot 4, Block 1, Meridian First Subdivision, subject to staff comments.

ATTACHMENTS

1. Location Map
2. Site Plans
3. Engineering Comments

Location Map

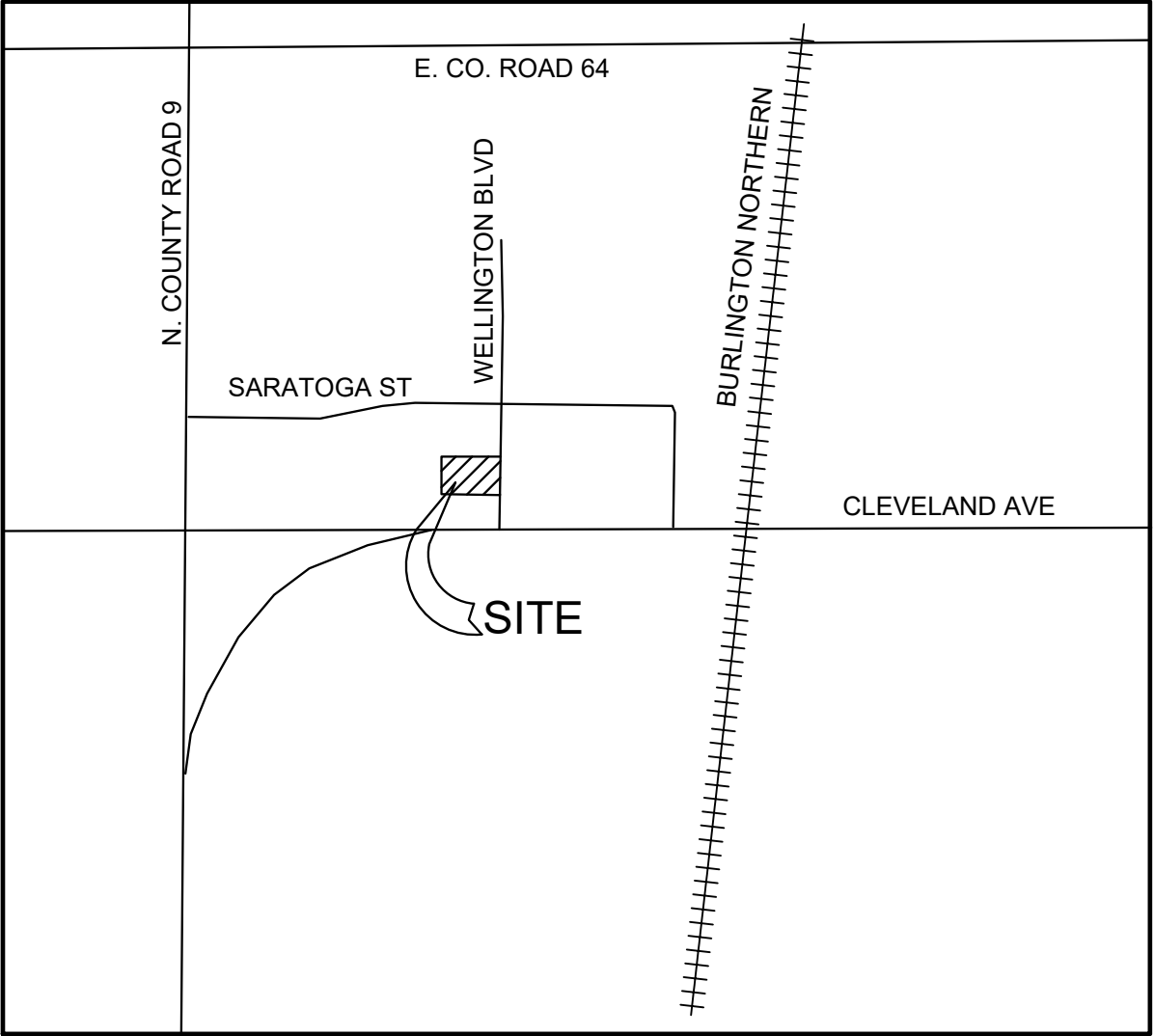
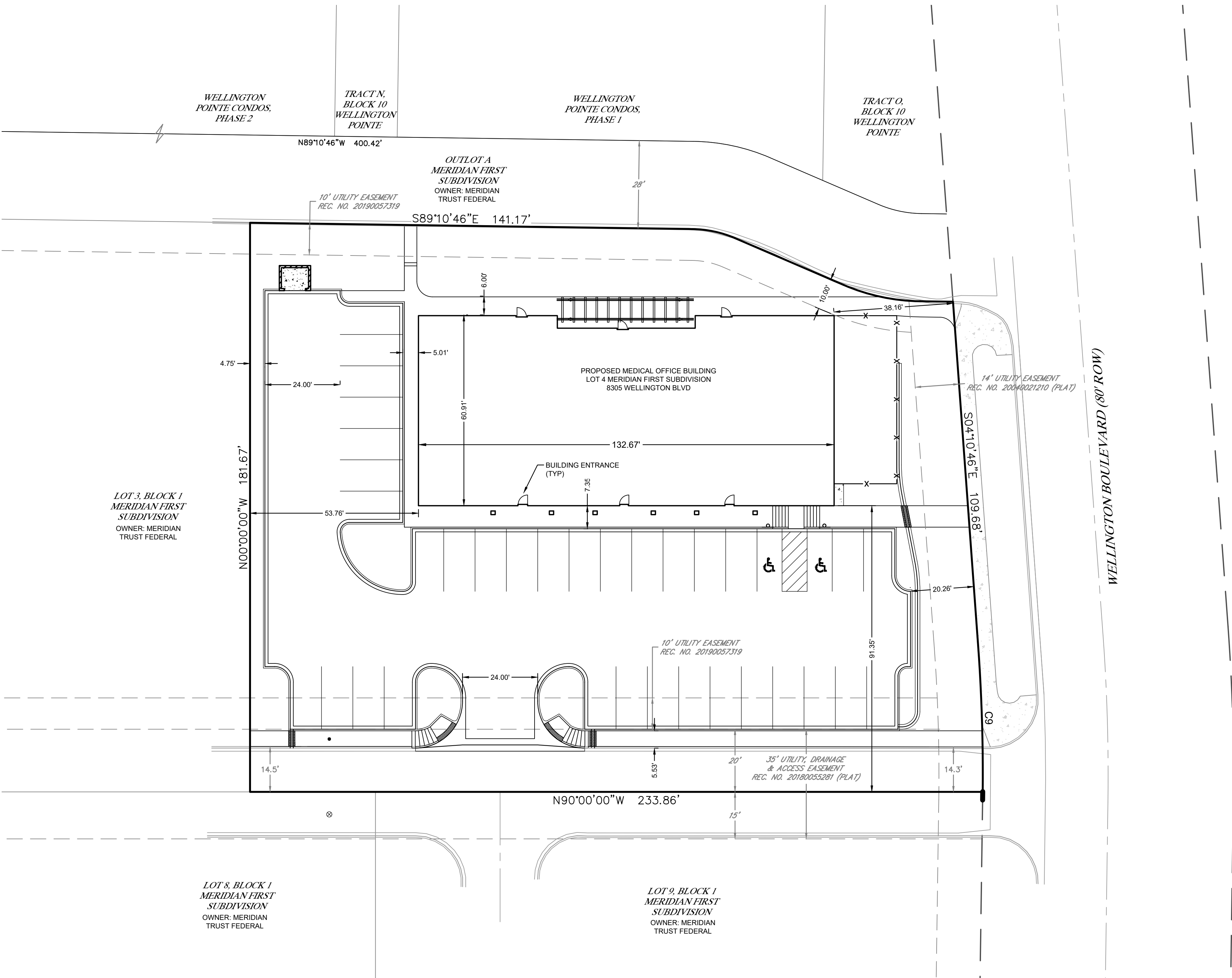
Lot 4, Block 1, Meridian First Subdivision



COVER SHEET

WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



VICINITY MAP
1"=1,000 FT.

SITE INFORMATION:
USE: MEDICAL, VETERINARIAN AND GENERAL OFFICE
3 UNITS
ESTIMATED EMPLOYEES: 12
NUMBER OF STORIES: 1
GROSS FLOOR AREA: 7,912 SF

TOTAL LOT AREA: 40,180 SF, 0.922 ACRES
BUILDING COVERAGE: 7,912 SF (19.7%)
TOTAL IMPERMEABLE SURFACE AREA
BUILDING: 7,912 SF
ASPHALT: 18,977 SF
CONCRETE: 3,956 SF
TOTAL: 30,845 SF



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OWNER/DEVELOPER:
LOT 4, WELLINGTON, CO-LLC
1289 S. 4TH AVE. UNIT 100
BRIGHTON, CO 80601
(303) 637-0981
JAMES VIGESAA

WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN
COVER SHEET

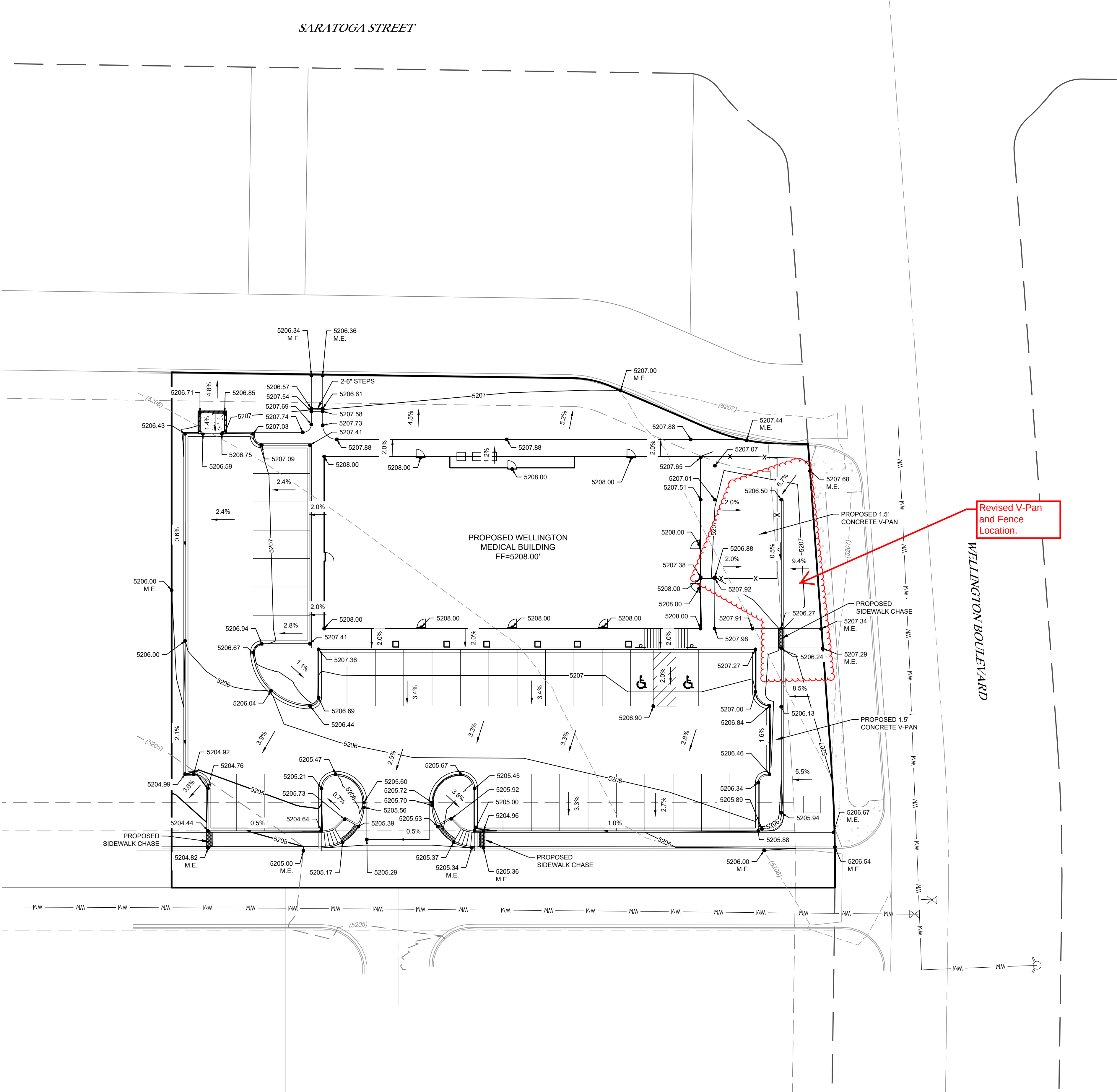
NO.	DATE	REMARKS

JOB NO.:	DCS20-4003
PA / PM:	TCJ
DRAWN BY:	
DATE:	3/3/2020
PLOT DATE:	

SHEET
1
Sheet 1 of 10

GRADING AND DRAINAGE PLAN
WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER W/ MH
- EXISTING WATER LINE AND VALVE
- PROPOSED SPOT ELEVATION
(AT FINISHED GRADE UNLESS OTHERWISE NOTED)
- PROPOSED SLOPE AND DRAINAGE DIRECTION
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- CONCRETE WALK
- FINISHED FLOOR
- DOWNSPOUT LOCATION

GRADING AND DRAINAGE NOTES:

- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING ELEVATIONS SHOWN AT THE PROPERTY LINE AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SIDEWALKS AND LANDINGS SHALL CROSS SLOPE 2% MAX TOWARD ROADS, DRIVE LANES AND PARKING AREAS UNLESS NOTED OTHERWISE.

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BRIGHTON, CO 80601
(303) 637-0981

WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN SUBMITTAL
GRADING AND DRAINAGE

NO. DATE CITY OF WELLINGTON COMMENTS

JOB NO.:	DCS2-4003
PA / PM:	TCJ
DRAWN BY:	MRH
DATE:	05/01/2020

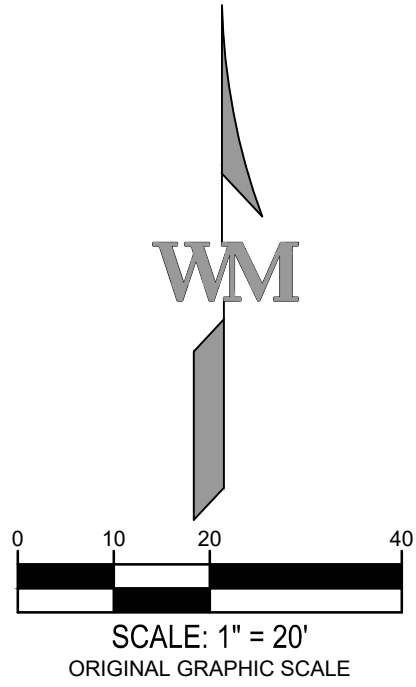
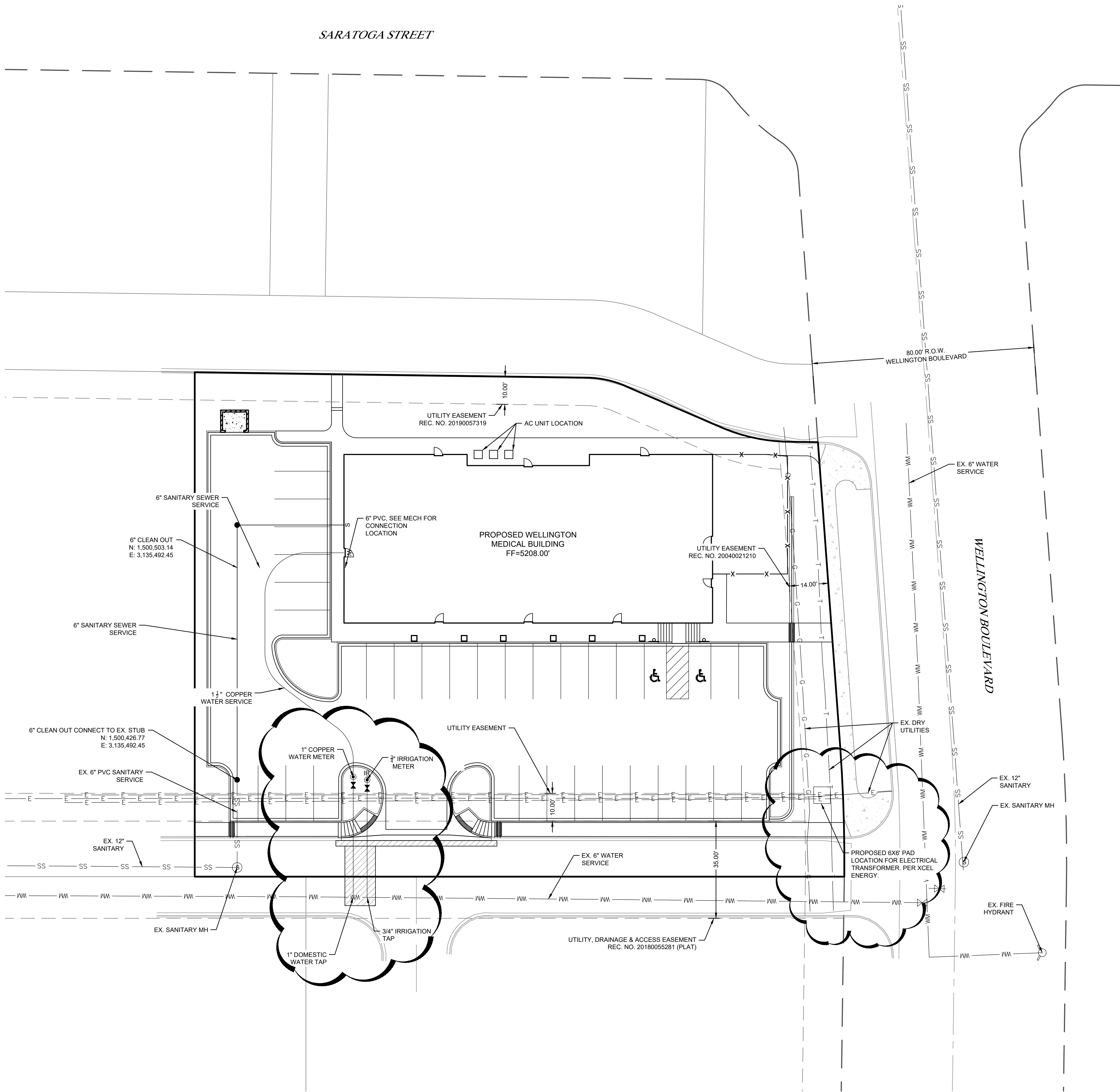
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2

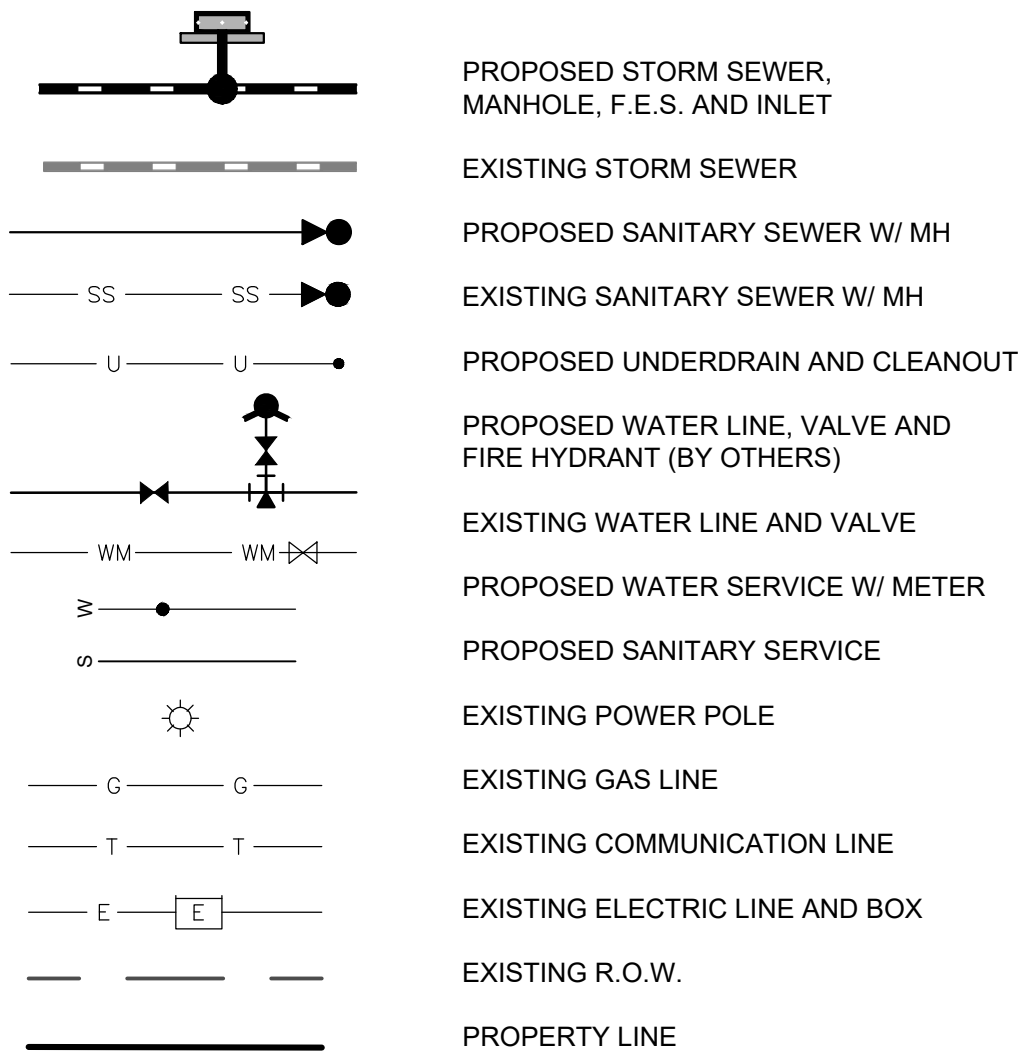
Sheet 2 of 10

UTILITY PLAN
WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND



- NOTES:
- CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - INSTALL PERIMETER BMP'S PRIOR TO CONSTRUCTION. REFER TO THE APPROVED TESC PLANS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - BEARINGS AND DISTANCES OF PROPERTY LINES AND ROW LINES ARE PER THE ALTA/NSPS LAND TITLE SURVEY FOR THIS SITE DATED 10/04/2019 BY KING SURVEYORS.

EASEMENTS:
AN EASEMENT FOR UTILITY LINES AND INCIDENTAL PURPOSES GRANTED TO POUDE VALLEY RURAL ELECTRIC ASSOCIATION BY THE INSTRUMENT RECORDED MARCH 31, 1979 IN BOOK 1845 AT PAGE 599. (NOT PLOTTABLE)

EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLOT OF WELLINGTON POINTE RECORDED MAY 17, 2000 UNDER RECEPTION NO. 32067. (NOT PLOTTED - LOT 1, BLOCK 10 SUBSEQUENTLY SUBDIVIDED IN MERIDIAN FIRST SUBDIVISION)

EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF RELOT OF LOT 1, BLOCK TEN AND LOT1, BLOCK ELEVEN, WELLINGTON POINTE RECORDED MAY 17, 2001 UNDER RECEPTION NO. 37379. (NOT PLOTTED - BLOCK 10 SUBSEQUENTLY SUBDIVIDED INTO MERIDIAN FIRST SUBDIVISION)

NOTES AND EASEMENTS AS SHOWN ON THE POT OF RELOT OF LOT 1, BLOCK TEN, WELLINGTON POINTE RECORDED MARCH 5, 2004 AT RECEPTION NO. 20040021210 (NOT PLOTTED - RELOT SUBSEQUENTLY SUBDIVIDED INTO MERIDIAN FIRST SUBDIVISION)

NOTES AND EASEMENTS AS SHOWN ON THE PLOT OF MERIDIAN FIRST SUBDIVISIONS RECORDED SEPTEMBER 6, 2018 AT RECEPTION NO. 20180055281. (PLOTTED)

COVENANTS, CONDITION, RESTRICTIONS AND EASEMENTS, IF ANY, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTED CLAUSE, (DELETING ANY RESTRICTIONS INDICATING AND PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN)AS CONTAINED IN INSTRUMENT ARE RECORDED SEPTEMBER 16, 2019 AT RECEPTION NO. 20190055398 AND ANY AND ALL AMENDMENTS AND/OR SUPPLEMENTS THERETO. (NOT PLOTTABLE)

TERMS, AGREEMENTS, PROVISION, CONDITIONS, OBLIGATIONS, EASEMENTS, AND RESTRICTIONS, IF ANY, AS CONTAINED IN DECLARATION OF UTILITY EASEMENT AND RIGHT OF WAY RECORDED SEPTEMBER 20, 2019 AT RECEPTION NO 20190057319. (PLOTTED)

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WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN SUBMITTAL
UTILITY PLAN

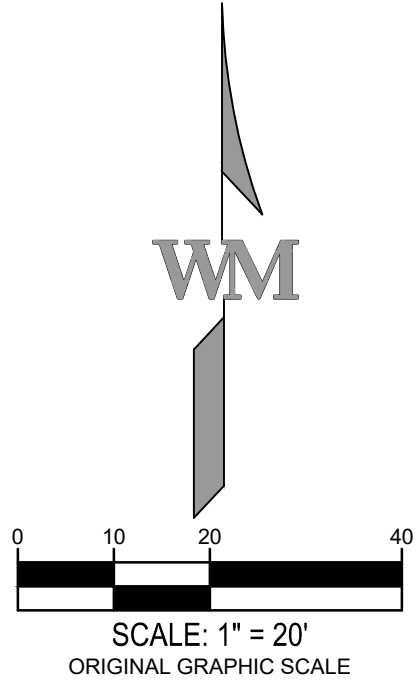
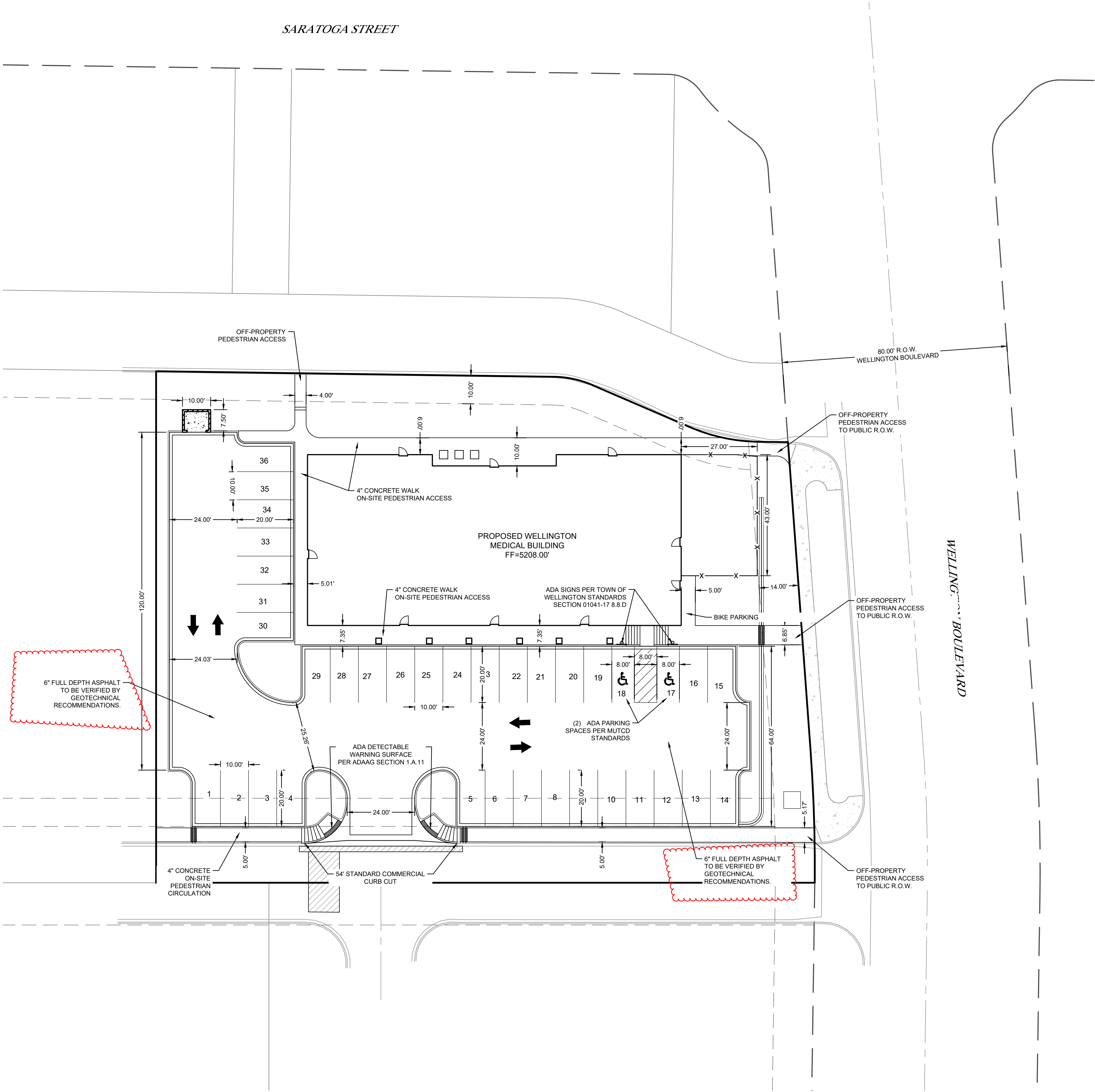
NO.	DATE	REMARKS
1	05/25/2020	CITY OF WELLINGTON COMMENTS

JOB NO.:	DCS2-4003
PA / PM:	TCJ
DRAWN BY:	MRH
DATE:	05/01/2020

SHEET		
3		
Sheet	3	of 10

PARKING AND CIRCULATION
WELLINGTON MEDICAL OFFICE BUILDING

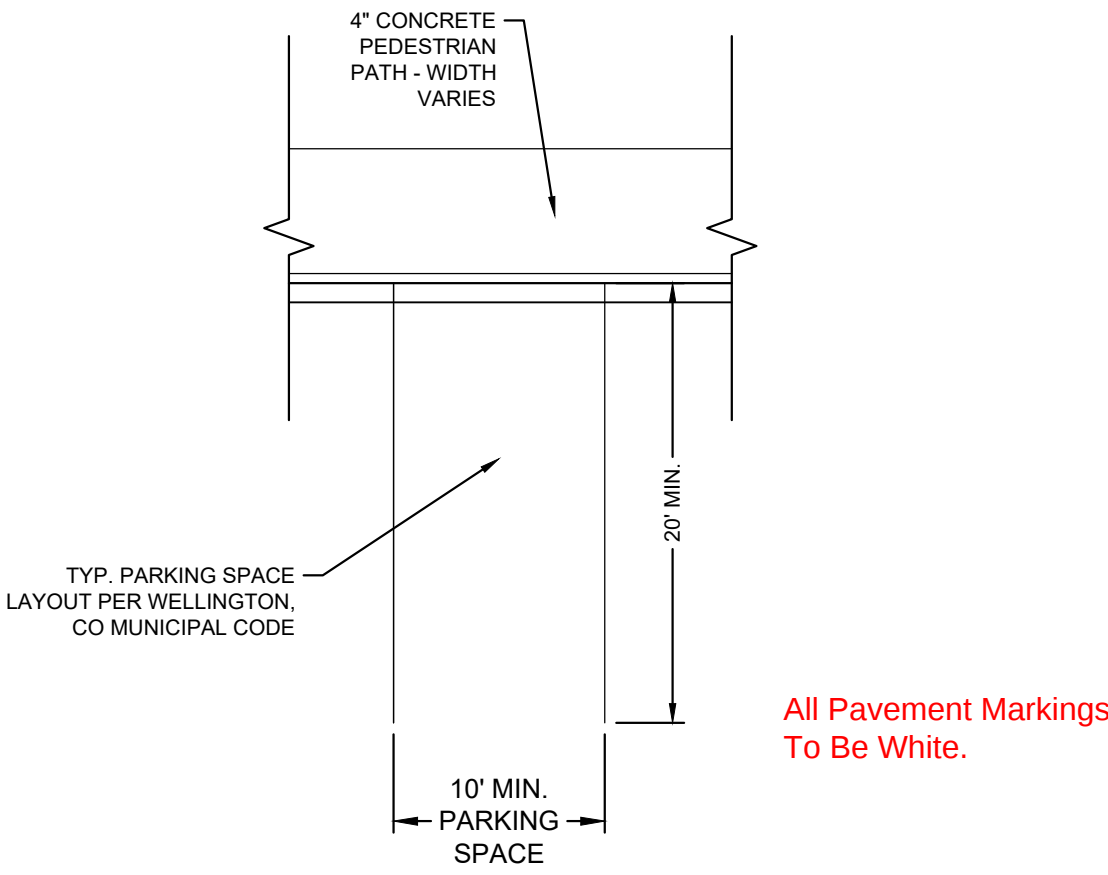
OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



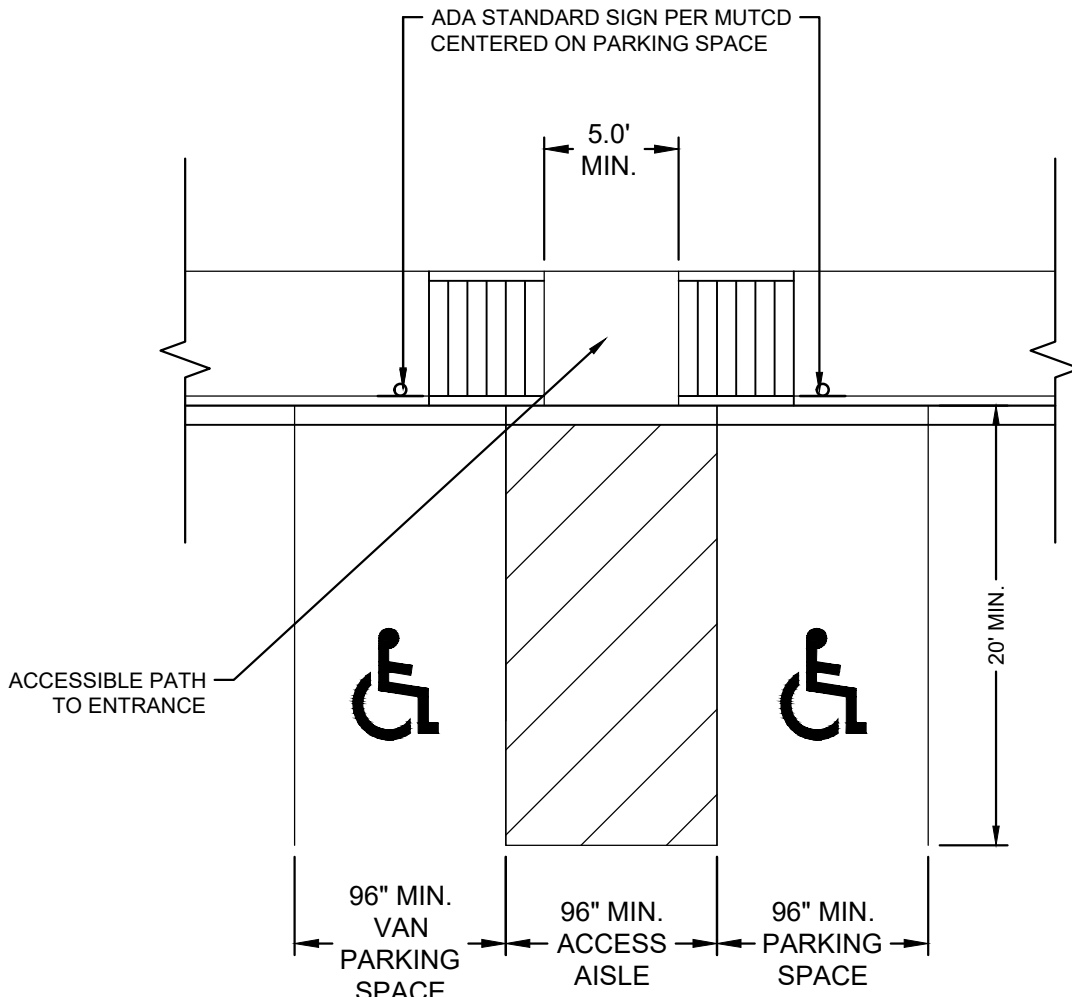
PARKING NOTES:

PARKING COUNTS BASED ON WELLINGTON, CO MUNICIPAL CODE.
USE: OFFICE/BUSINESS USE REQUIREMENTS 1 SPACE FOR EVERY 300 SQUARE FEET OF GROSS FLOOR AREA

- TOTAL GROSS FLOOR AREA IS APPROX. 7915 SF. = 27 PARKING SPACES REQUIRED
- 36 TOTAL PASSENGER VEHICLE SPACES
 - 1 ADA PASSENGER VEHICLE SPACE
 - 1 ADA VAN ACCESSIBLE SPACE



STANDARD PARKING LAYOUT
N.T.S.



ADA STANDARD PARKING LAYOUT
N.T.S.

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WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN SUBMITTAL
PARKING AND CIRCULATION

NO.	DATE	CITY OF WELLINGTON COMMENTS	REMARKS
1	05/25/2020		

JOB NO.:	DCS2-4003
PA / PM:	TCJ
DRAWN BY:	MRH
DATE:	05/01/2020

SHEET
4
Sheet 4 of 10

BUILDING ELEVATIONS

WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

EXTERIOR FINISH SCHEDULE	
ASPHALT SHINGLES	OWENS CORNING, DURATION STORM, COLOR: TEAK
HARDIE TRIM AT FASCIA	PAINT: SW 7034 'STATUS BRONZE'
GUTTERS	PREFINISHED: DARK BRONZE
STUCCO COLOR	SHERWIN WILLIAMS, SW 7567 'NATURAL TAN'
WINDOW FRAMES	DARK BRONZE ANODIZED ALUMINUM
CMU WAINSCOT	BASALITE, SPLIT FACE CMU, COLOR: 668R
DOWNSPOUTS	PREFINISHED: DARK BRONZE



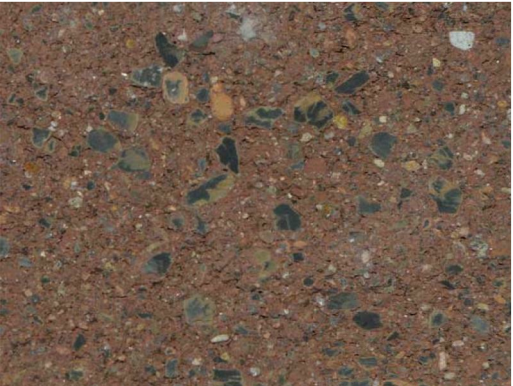
ASPHALT SHINGLES



FASCIA / TRIM COLOR



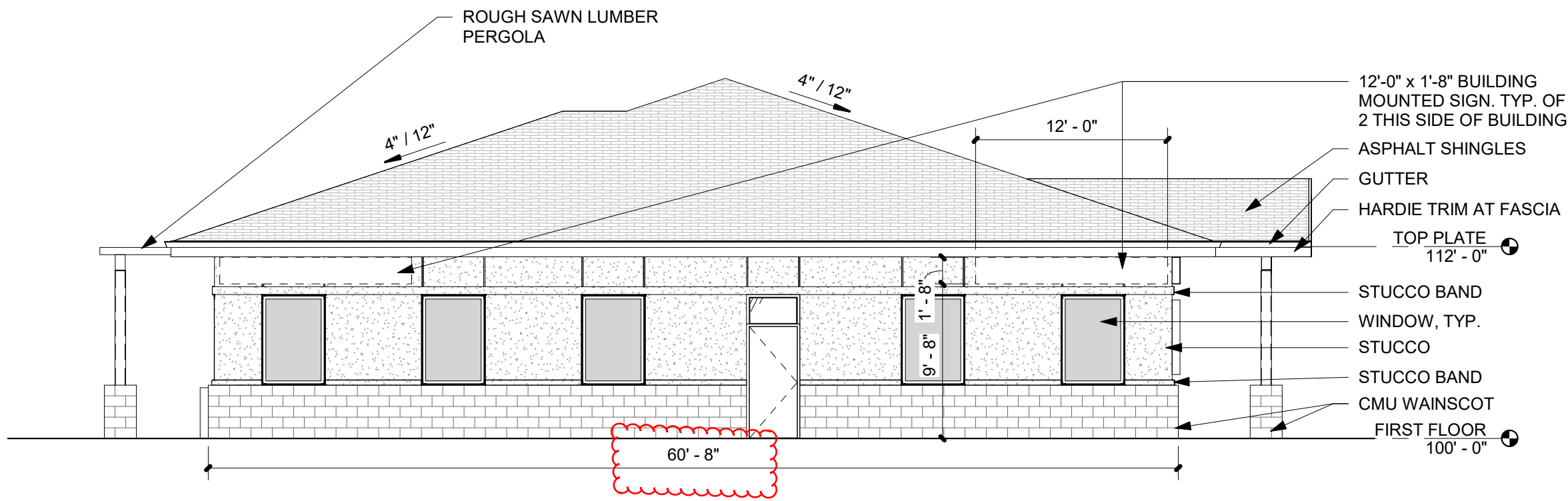
STUCCO COLOR



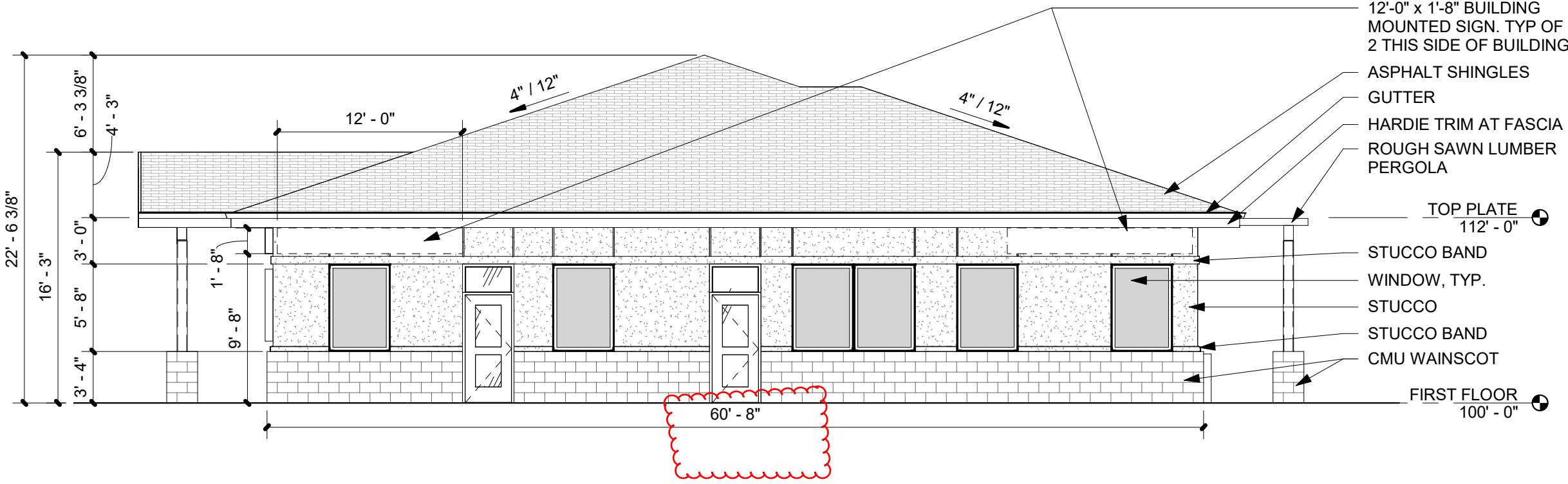
CMU WAINSCOT



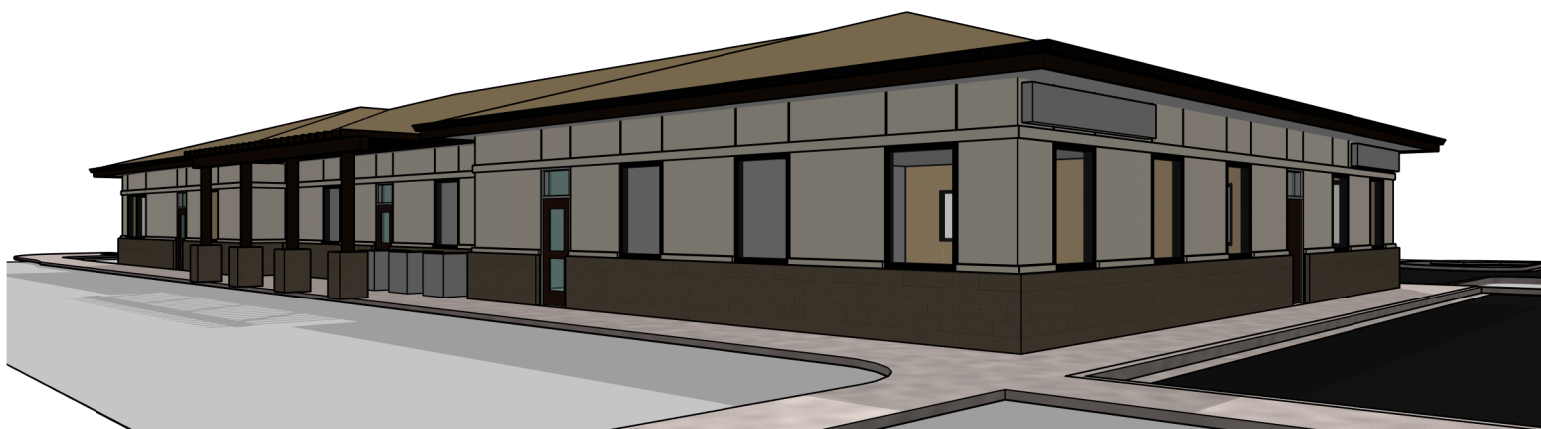
WINDOW FRAMES



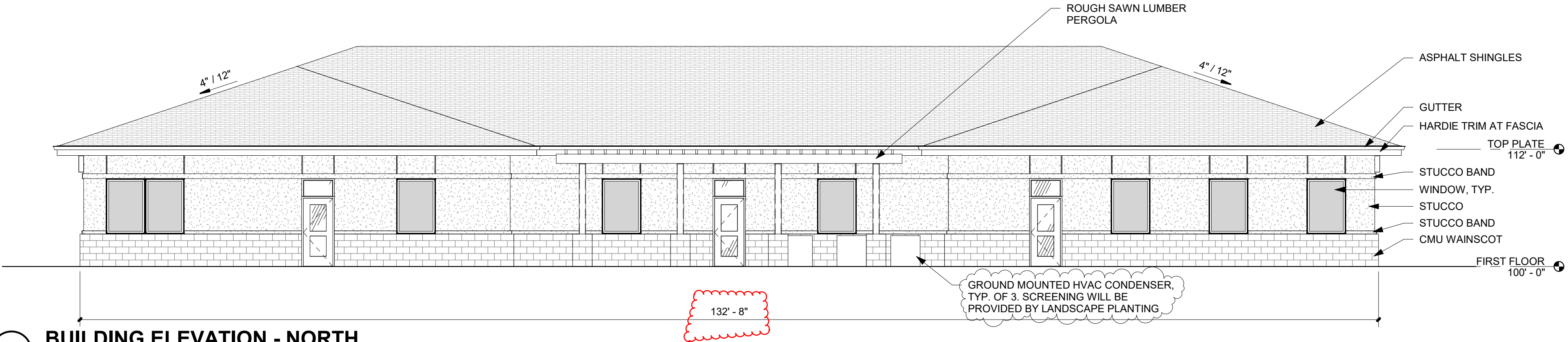
6 BUILDING ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3 BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



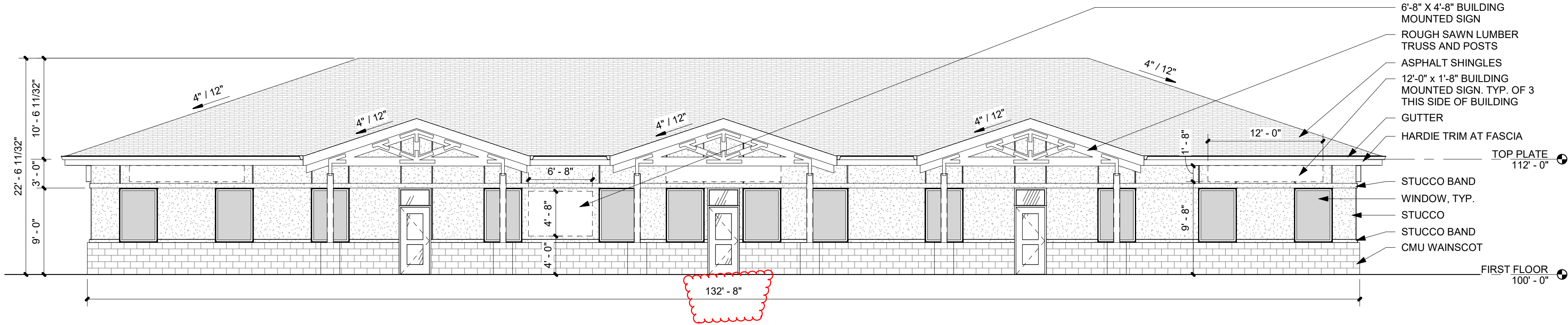
5 NORTHEAST CORNER
SCALE:



2 BUILDING ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



4 SOUTHWEST CORNER
SCALE:



1 BUILDING ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

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BRIGHTON, CO 80601
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WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN
BUILDING ELEVATIONS

NO.	DATE	REMARKS
1	7/2/2020	RESPONSE TO COMMENTS

JOB NO.:	DCS20-4003
PA / PM:	TCJ
DRAWN BY:	
DATE:	3/3/2020
PLOT DATE:	

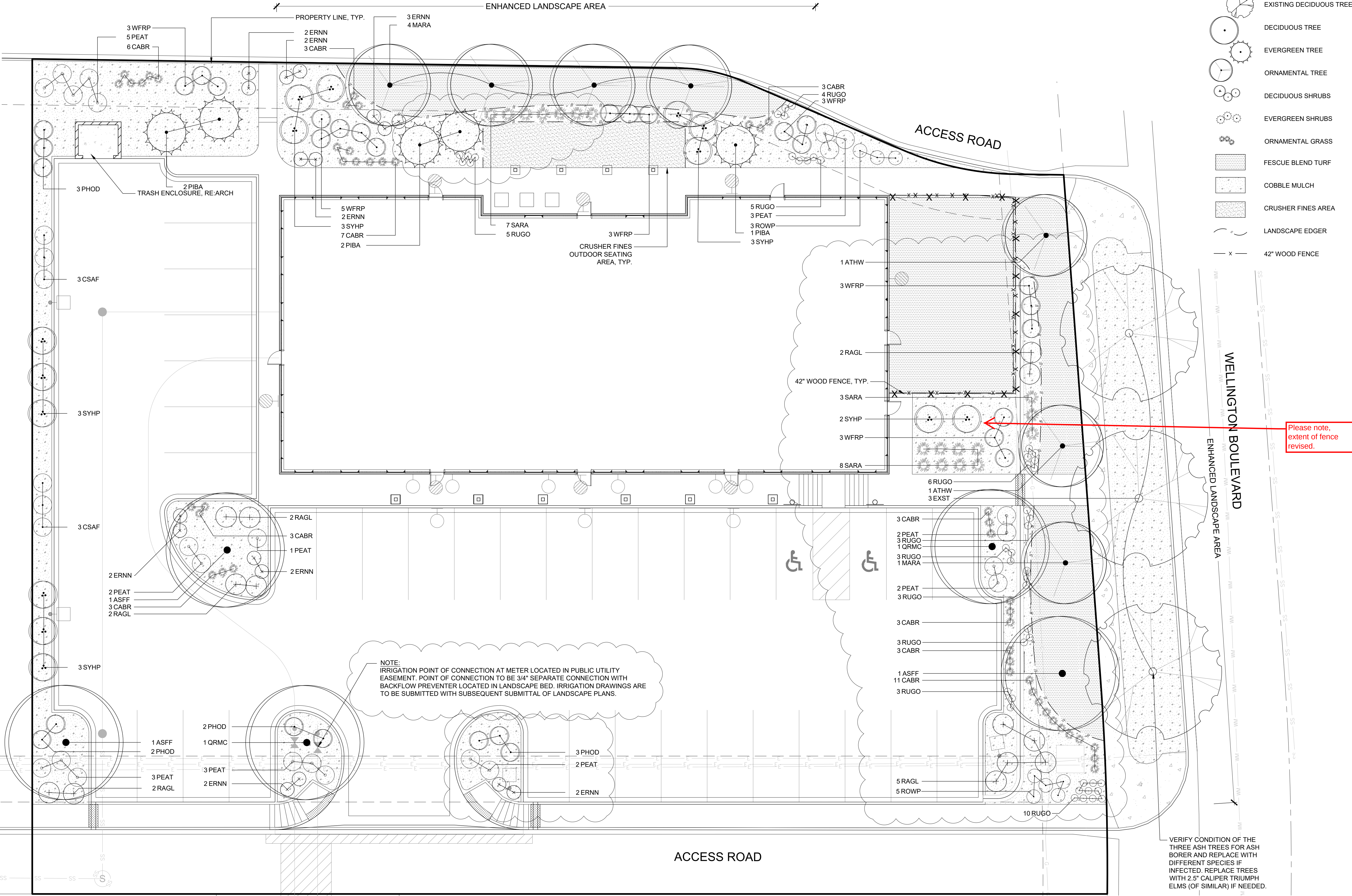
SHEET
5
Sheet 5 of 10

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1.800.922.1987
CALL 2- BUSINESS DAYS IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

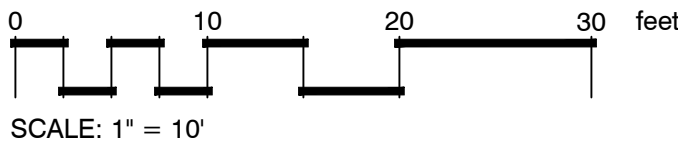
WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

- LEGEND
- EXISTING DECIDUOUS TREE
 - DECIDUOUS TREE
 - EVERGREEN TREE
 - ORNAMENTAL TREE
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASS
 - FESCUE BLEND TURF
 - COBBLE MULCH
 - CRUSHER FINES AREA
 - LANDSCAPE EDGER
 - 42" WOOD FENCE



1 LANDSCAPE PLAN



DEVELOPER:
LOT 4, WELLINGTON, COLL
1289 S. 4TH AVE. UNIT 100
BRIGHTON, CO 80601
(303) 637-0981

WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN
LANDSCAPE PLAN

NO.	DATE	REMARKS

JOB NO.:	DCS20-4003
PA / PM:	TCJ
DRAWN BY:	
DATE:	7/2/2020
PLOT DATE:	

SHEET
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Sheet 7 of 10



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1.800.922.1987
CALL 2- BUSINESS DAYS IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

GENERAL NOTES:

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
2. COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNDISCOVERED CONDITIONS AFTER START OF WORK.
4. NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

SOIL SPECIFICATIONS:

1. ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
2. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
3. LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
4. IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
5. ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES. PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
6. SOIL PREPARATION FOR ALL LANDSCAPE AREAS SHALL INCLUDE ORGANIC MATTER ADDED AT A RATE OF FOUR (4) CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
7. PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

PLANTING NOTES:

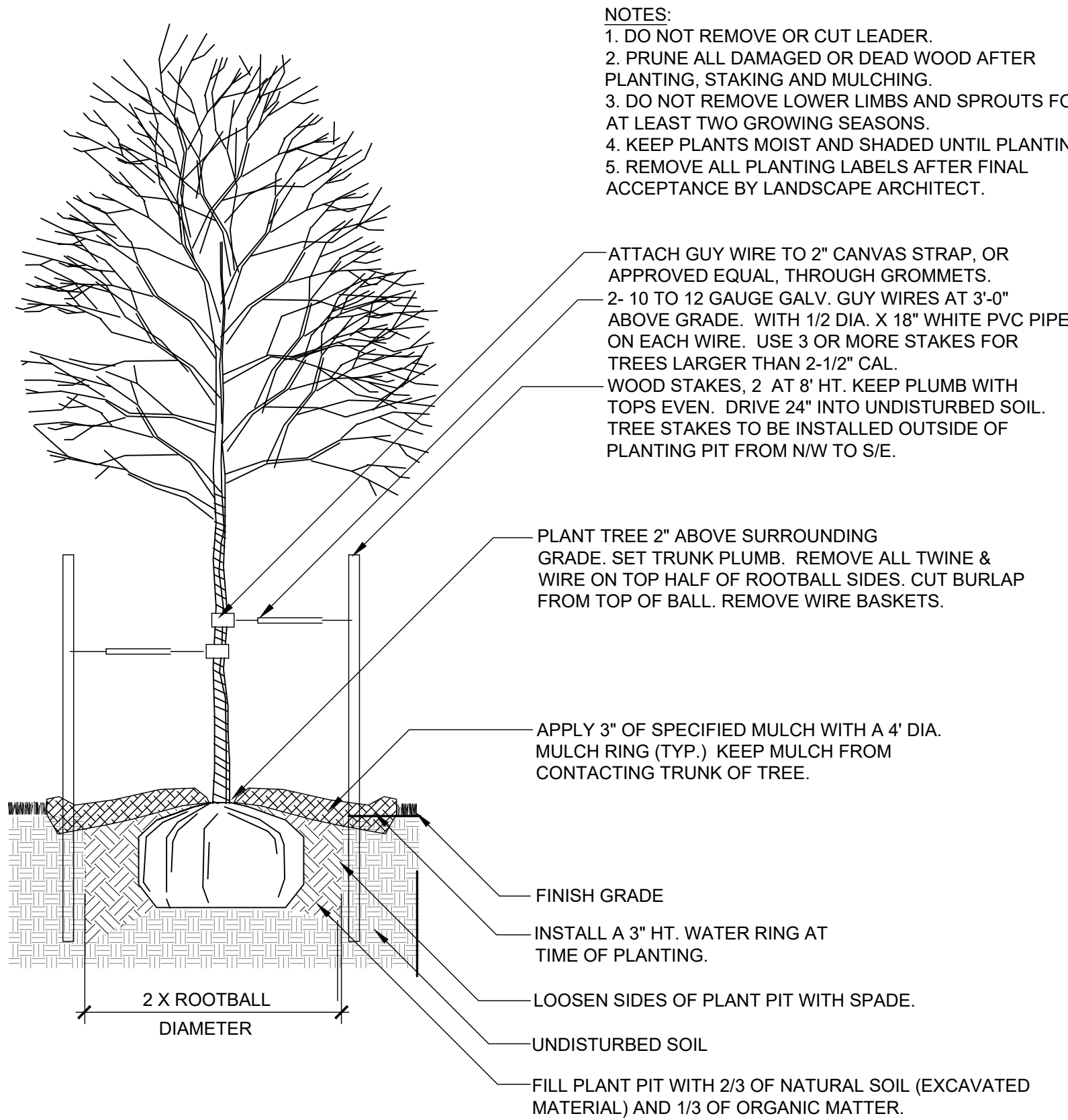
1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY OWNER/OWNERS REPRESENTATIVE PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY OWNER.
2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE OWNER ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND THE PLANT SCHEDULE.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT, PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
4. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
5. DECIDUOUS AND EVERGREEN TREES TO BE PLANTED SO THAT THE UPPERMOST ROOT FLARE SITS 1 TO 2" ABOVE ADJACENT GRADE.
6. NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE PLANTED WITHIN POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION EASEMENTS.
7. NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION MAINS AND SERVICES.
8. LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
9. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/DRIIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.

MULCH:

1. ROCK MULCH, WASHED RIVER COBBLE, 3" MINIMUM DEPTH OVER LANDSCAPE FABRIC DEPRESSED 2" BELOW SURROUNDING CURBS AND WALKS. A DOUBLE SHREDDED WOOD MULCH RING SHALL BE PLACED AROUND EACH TREE SHRUBS, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE TREE, SHRUB, GRASS OR PERENNIAL.
2. WOOD MULCH, NON-DYED SHREDDED CEDAR MULCH OR APPROVED EQUAL, 3" MINIMUM DEPTH. APPLY FOR ALL PLANTINGS AS A BASIN WITHIN ROCK MULCH FOR EACH PLANTING. SEE SHRUB PLANTING DETAIL. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

SOD:

1. KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
2. ALL SOD SHALL BE TEXAS HYBRID BLUE GRASS AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
3. ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
4. ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.



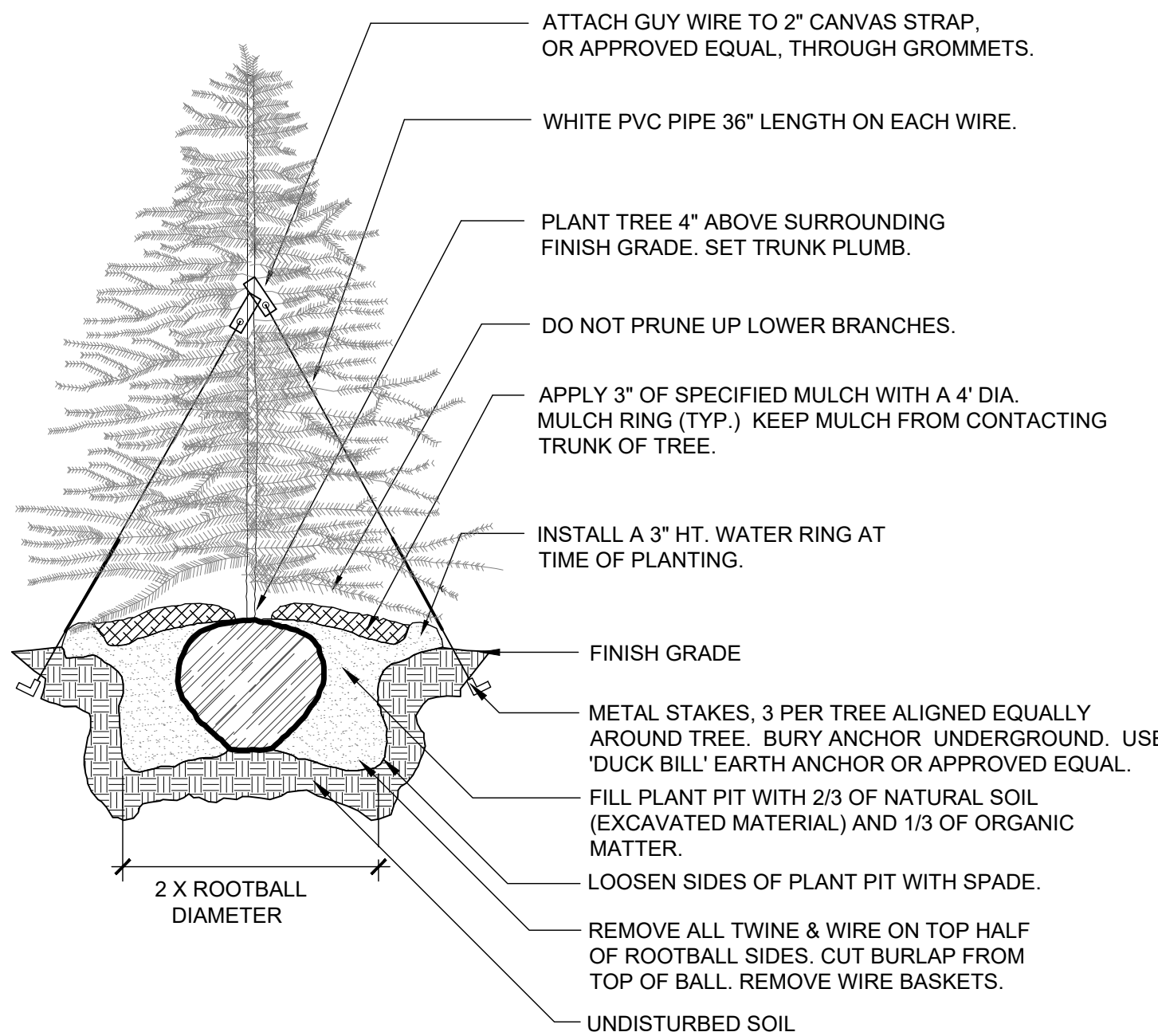
NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES, OR WITHIN 100' APPROACHING A STOP SIGN ARE TO BE LIMBED TO 8". AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION, WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

1 DECIDUOUS TREE PLANTING

1" = 1'-0"

BLCC-03

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.



2 EVERGREEN TREE PLANTING

1" = 1'-0"

BLCC-04

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ASFF	3	ACER SACCHARUM 'FALL FIESTA'	FALL FIESTA SUGAR MAPLE	B & B	2" CAL
QRCM	2	QUERCUS ROBUR X MACROCARPA 'CLEMONS'	HERITAGE OAK	B & B	2" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
PIBA	5	PICEA PUNGENS 'BAKERI'	BLUE SPRUCE	B & B	6' HT
EXISTING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
EXST	3	EXISTING TREE	GREEN ASH	EXST	CAL
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ATHW	2	ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	B & B	1.5" CAL
MARA	5	MALUS X 'RADIANT'	RADIANT CRAB APPLE	B & B	1.5" CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
CSAF	6	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	#5	
ERNN	17	ERICAMERIA NAUSEOSA NAUSEOSA	DWARF BLUE RABBITBRUSH	#5	
PEAT	23	PEROVSKIA ATRIPLOICIFOLIA	RUSSIAN SAGE	#1	
PHOD	10	PHYSOCARPUS OPUILIFOLIUS 'DIABLO'	DIABLO NINEBARK	#5	
RAGL	13	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	#5	
ROWP	8	ROSA X 'WINNIPEG PARKS'	WINNIPEG PARKS ROSE	#5	
SYHP	14	SYRINGA X HYACINTHIFLORA 'POCAHONTAS'	POCAHONTAS LILAC	#5	
WFRP	20	WEIGELA FLORIDA 'RED PRINCE'	RED PRINCE WEIGELA	#5	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	
CABR	45	CALAMAGROSTIS X ACUTIFLORA	KARL FORESTER FEATHER REED GRASS	#1	
SARA	18	SACCHARUM RAVENNAE	RAVENNA GRASS	#1	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
RUGO	45	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	#1	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME		
	3,158 SF	TEXAS HYBRID BLUEGRASS MIX	SOD		

LANDSCAPE REQUIREMENTS

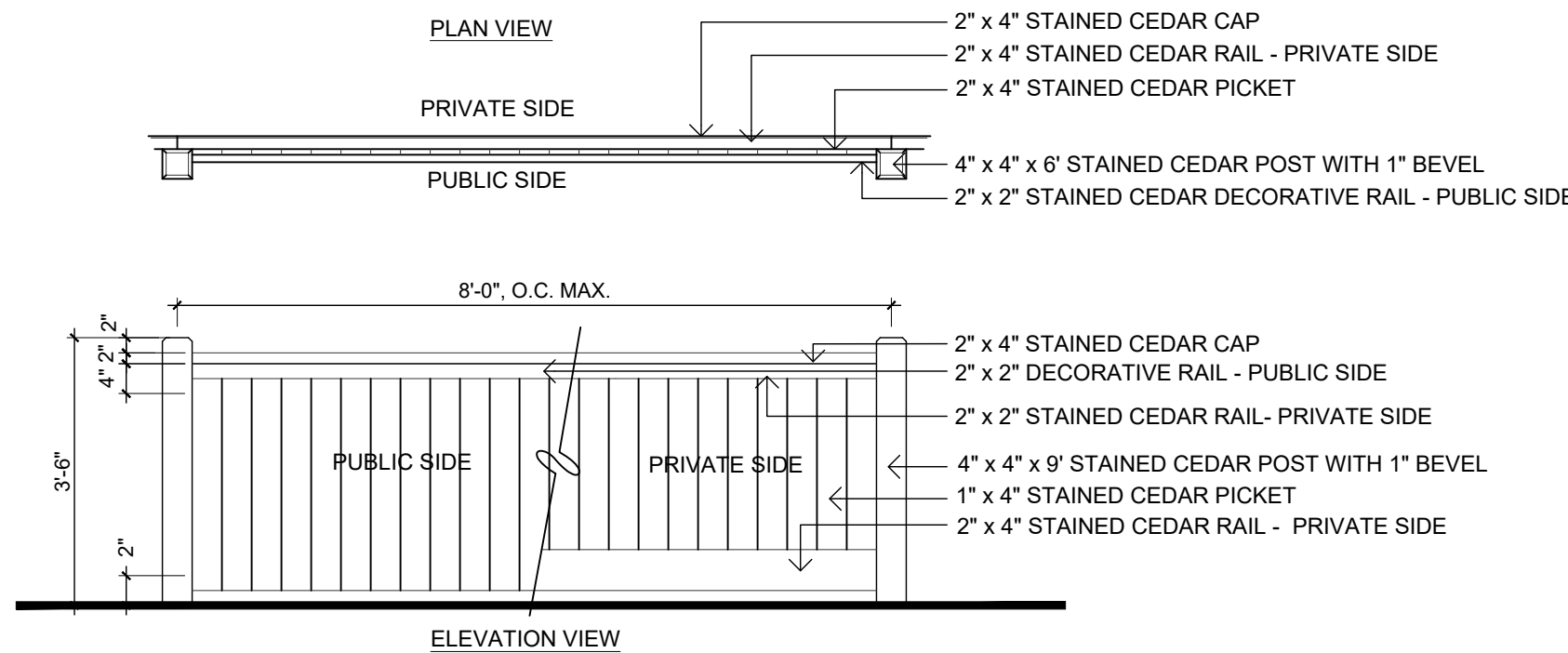
TOTAL LOT SIZE: 40,180 SF

LANDSCAPE REQUIRED (20%): 8,036 SF

LANDSCAPE AREA PROVIDED: 8,456 SF (21%)

PLANT REQUIREMENTS:

	TREE REQUIREMENT	TREES PROVIDED	SHRUB REQUIREMENT	SHRUBS PROVIDED
LANDSCAPE AREA (8,036 SF)	1 TREE/ 1000 SF 9 EA	9 EA	1 SHRUB/ 150 SF 54 EA	66 EA (#5) 112 EA (#1)
PARKING LOT (39 PARKING SPACES)	1 TREE/ 20 SPACES 2 EA	2 EA	1 SHRUB / 150 SF 8 EA	18 EA (#5) 19 EA (#1)
STREET FRONTAGE (385 LF)	1 TREE/ 40 LF 10 EA	10 EA	—	—
TOTALS	21 TREES	21 EA	62 SHRUBS	84 EA (#5) 131 EA (#1)
TREE EQUIVALENTS (TE)	21 TE	21 TE	6.2 TE	14.9 TE
			TOTAL TE REQUIRED	27.2 TE
			TOTAL TE PROVIDED	35.9 TE



- NOTE:
1. ALL FENCING SHALL HAVE COMMERCIAL GRADE WATER SEALANT, NATURAL CEDAR OR CLEAR COLORED APPLIED AT TIME OF INSTALLATION.
 2. CONTRACTOR SHALL DESIGN-BUILD 3' X 4' WIDE GATE TO MATCH FENCE PANELS WITH ALL APPROPRIATE HARDWARE AND LOCKING MECHANISMS.
 3. BOTTOM OF THE FENCE SHALL BE PARALLEL TO FINISHED GRADE. IF NECESSARY ADJUST BOTTOM OF FENCE TO MEET ANY CHANGES IN FINISHED GRADE. THE TOP OF FENCE SHALL BE LEVEL.

3 42" WOOD FENCE

N.T.S.

CBMS-MOB-02



DEVELOPER:
LOT 4, WELLINGTON, COLL-C
1289 S. 4TH AVE. UNIT 100
BRIGHTON, CO 80601
(303) 637-0981

WELLINGTON MEDICAL
OFFICE BUILDING
SITE PLAN
LANDSCAPE NOTES

NO.	DATE	REMARKS

JOB NO.:	DCS20-4003
PA / PM:	TCJ
DRAWN BY:	
DATE:	7/2/2020
PLOT DATE:	

SHEET
L1.01
Sheet 8 of 10

OUTDOOR AREAS

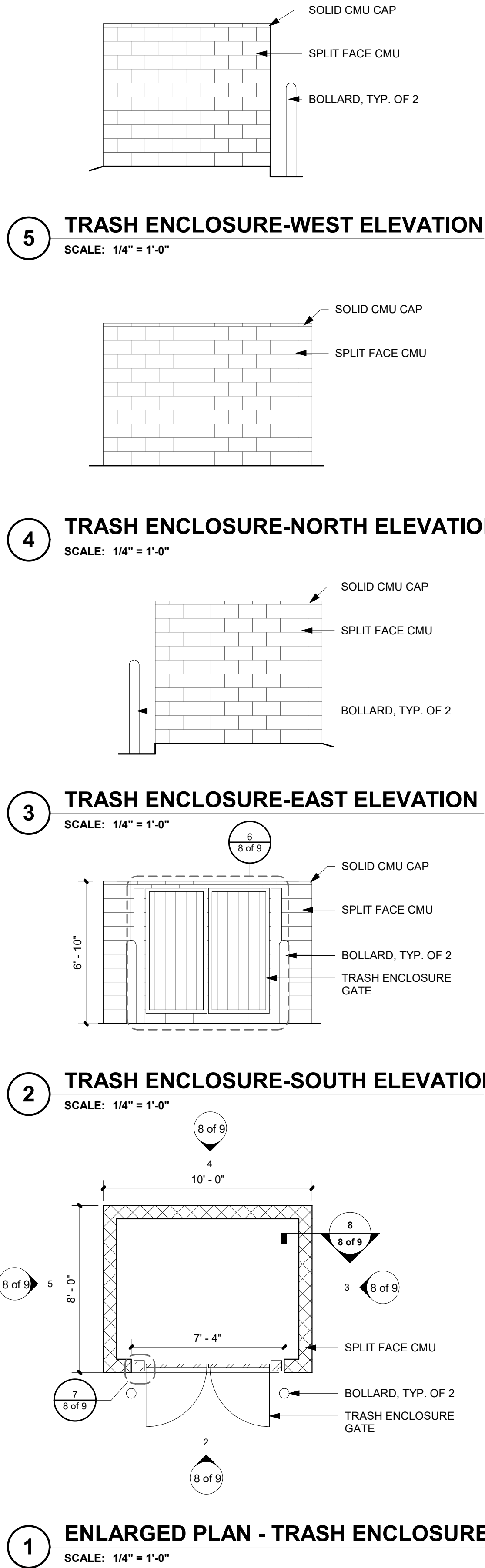
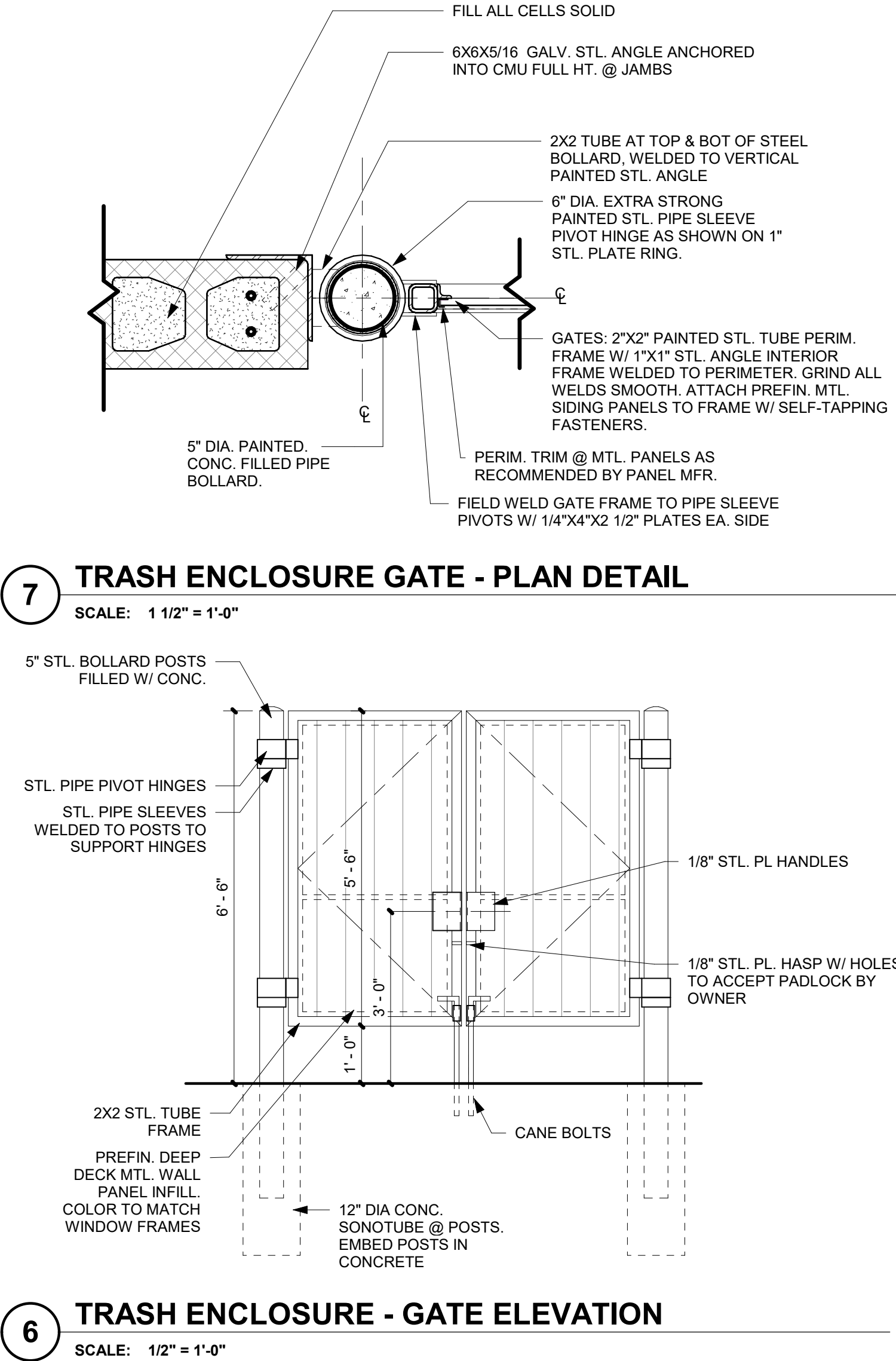
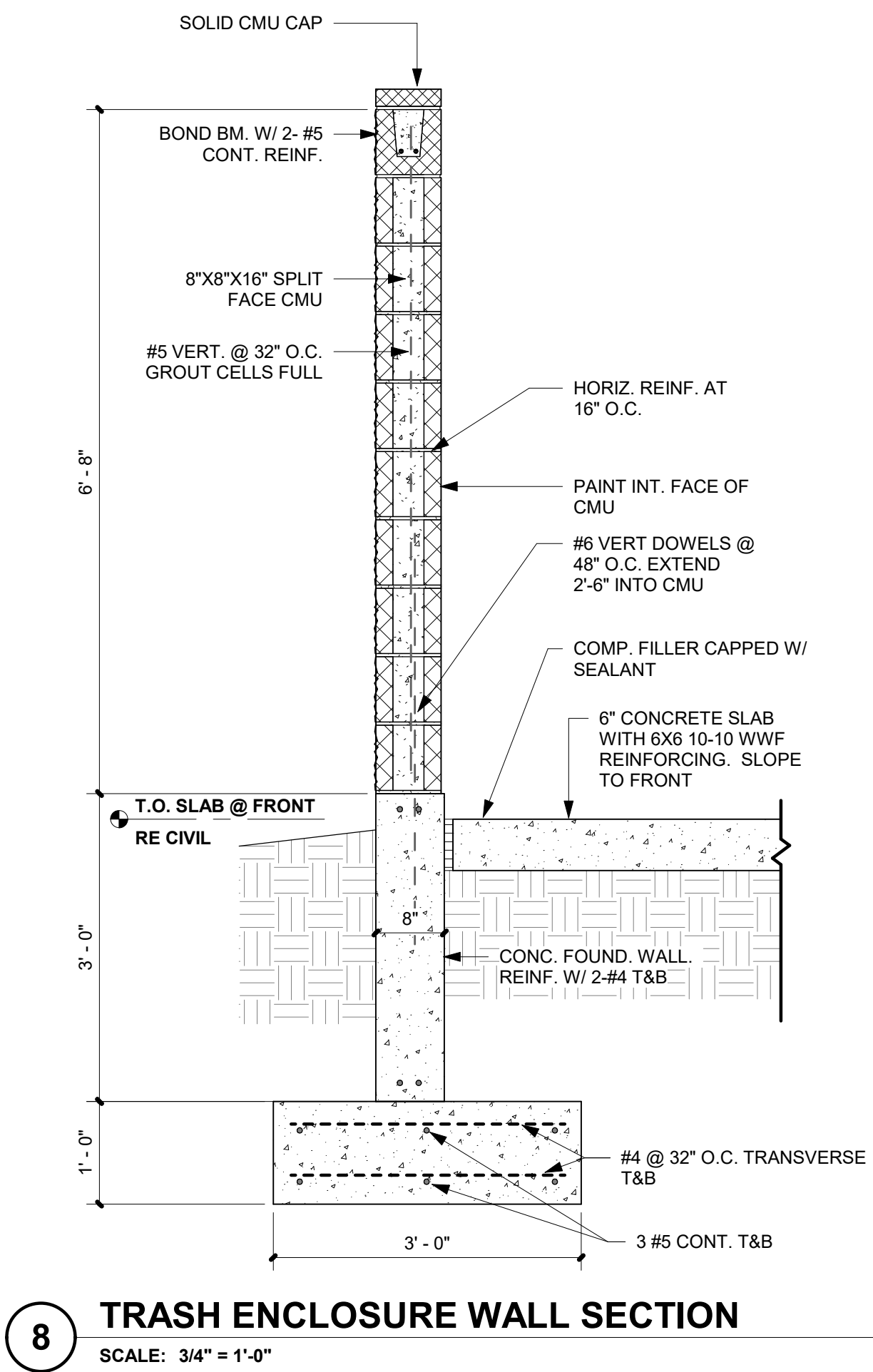
WELLINGTON MEDICAL OFFICE BUILDING

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,

SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH

P.M.,

TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



WARE MALCOMB
CIVIL ENGINEERING & SURVEYING

990 south broadway
suite 230
denver, co 80209
p 303.561.3333
waremalcomb.com

DEVELOPER:
LOT 4, WELLINGTON, CO-LLC
1289 S. 4TH AVE. UNIT 100
BRIGHTON, CO 80601
(303) 637-0981

WELLINGTON MEDICAL
OFFICE BUILDING

SITE PLAN
OUTDOOR AREAS

NO.	DATE	REMARKS

JOB NO.: DCS20-4003
PA / PM: TCJ
DRAWN BY:
DATE: 3/3/2020
PLOT DATE:

SHEET
8
Sheet 8 of 10

OF LOT 4, BLOCK 1, MERIDIAN FIRST SUBDIVISION,
SITUATE IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 68 WEST OF THE 6TH P.M.
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

[illegible]

JOB NO.:	20-013
PA / PM:	JH/VJR
DRAWN BY:	JH
DATE:	03/02/2020
PLOT DATE:	



Date: July 2, 2020

Attention: James Vigesaa

Lot 4, Wellington, CO-LLC
1289 South 4th Avenue, Unit 100
Brighton, CO. 80601

Reference:

The Town engineering department is in receipt of proposed site plans for the above-mentioned project. The submittal was received on June 12, 2020 and contained four (4) documents. The Town engineering staff has reviewed the appropriate plans and reports and have provided the following comments and recommendations.

Site Plans

- Refer to the Town of Wellington, Standard Design Criteria and Standard Construction Requirements, for all current design and construction standards.
- Use the attached Town of Wellington general notes for the civil site portion of the plan set.
- Include the Town of Wellington signature block. An example image has been provided.
- Provide a utility service contact list.
- Provide all of the Town of Wellington construction details needed for this project.
- Provide the street cut demolition quantities for the utility services.
- Show the ADA accessibility path in the grading sheet.
- There appears to be a building corner on a utility easement line. Verify that no portion of the building or footings will encumber the utility easement.
- There will need to be a separate tap and meter on the watermain, for the irrigation tap that is identified on your plans.
- If a fire line connection is needed to meet building code, provide that construction information.
- Do not place the water meter pits in the sidewalk, drive aisles or the private drive.
- See the attached documents for additional comments.

Drainage Report

- Refer to the Town of Wellington, Standard Design Criteria and Standard Construction Requirements, for all current design and construction standards.
- Use Town of Wellington current rainfall intensities in the proposed runoff calculations.
- Provide runoff calculations for your specific site.
- Analyze the impact to all the drainage basins in the master drainage plan and the proposed site impacts.
- See the attached documents for additional comments.

Traffic Memorandum

- No further comments at this time.



Please review and resubmit the appropriate documents. The Town of Wellington reserves the right to make further comments on the design documents at a later date.

In conclusion, we understand that you may have some questions regarding these comments. Please let me know if you would like to discuss them in person or by virtual meeting.

Regards,

TOWN OF WELLINGTON

Vincent J. Gentry

Engineering Technician III,

Phone: (970) 568-0447

Email: gentryvj@wellingtoncolorado.gov

Copied: Cody Bird, Bob Gowing, Thomas Jansen

Attachment: Site plan with comments, Site plan comments summary, Drainage report with comments, Drainage report summary, Town of Wellington approval block image, Town of Wellington General notes, Wellington Utility contact list.